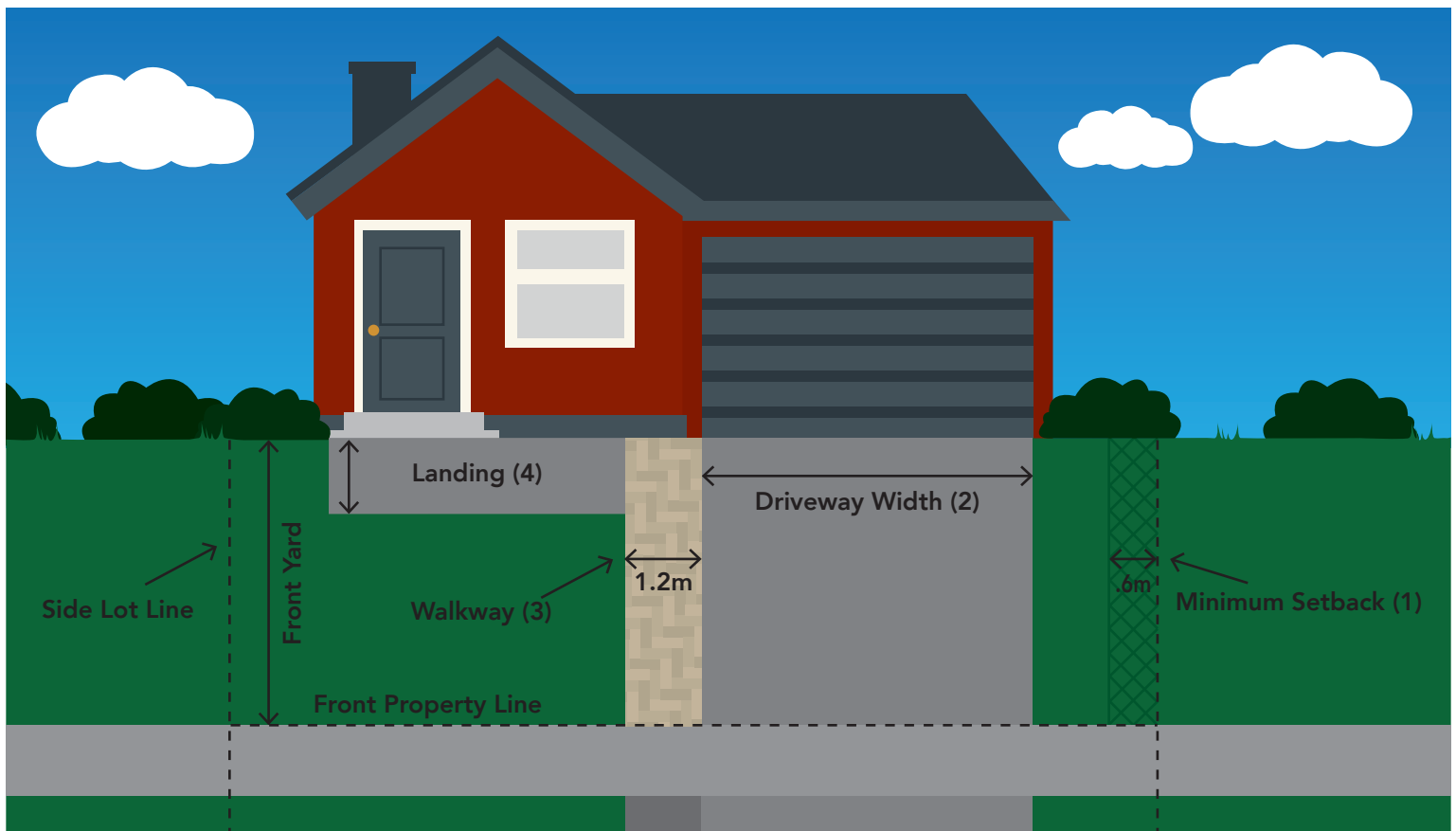


The Town of Newmarket is committed to working with the community to ensure residents are aware of the restrictions and limitations around driveway widths and parking.

The Town of Newmarket Zoning By-law provides maximum driveway widths:

- to limit the amount of hard surface in the front yard for aesthetic and drainage purposes,
- to allow enough space for boulevard trees and future planting and
- to maximize on-street visitor parking.

1. A driveway must be located a minimum of 0.6 metres from the side lot line, except for a shared driveway, where a setback from the shared property line is not required (i.e. a semi-detached or townhouse dwelling).
2. The maximum driveway width is regulated by the Zone category. Driveway widths vary throughout the Town. Please confirm this maximum width prior to any construction by:
  - a. visiting [newmarket.ca/zoning](http://newmarket.ca/zoning) and consulting with our Interactive Map Guide and Zoning By-law 2010-40 or
  - b. contacting Planning and Building Services at 905-895-5193.
3. A residential walkway is considered to be a hard, surfaced path, leading from the front of the building to the curb or sidewalk. A residential walkway:
  - a. must be of a different material than the driveway,
  - b. cannot span wider than 1.2 metres and
  - c. may not be used for parking vehicles.
4. A "landing" can project 1.8 metres into the required front yard, but cannot come within 1.2 metres of the front property line.



**Note:** The above illustration is for clarification purposes only, and is not a component of Zoning By-law 2010-40. Should there be any discrepancy between this document and the Zoning By-law; the Zoning By-law shall supersede this document.