

STATISTICS:

UNIT COUNT:
 RENTAL UNITS: 143 +/-
 CRU UNITS: 5 +/-

SITE AREA:
 30,884.59 SF
 2,869.27 SM (.709 ACRES)

COVERAGE:
 21492.54 SF = 69.59%

GROSS AREA:
 129,355.49 SF (12,017.5 SM)
 Excludes Lower Level Clocktower

COMMERCIAL AREA:
 3,721.70 SF (345.75 SM)

FSI:
 4.19

PARKING:

PROPOSED PARKING:	
LEVEL	
SURFACE	0
P1	38
P2	42
P3	42
P4	42
P5	13
TOTAL	177

PROPOSED PARKING RATIO:

1.08 STALL/SUITE*	155 RESIDENT
.15 STALL / SUITE	22 GUEST
TOTAL:	177 STALLS

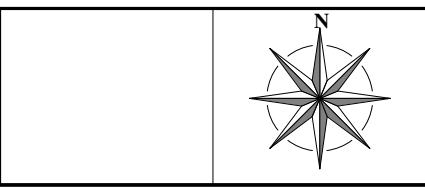
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ISSUES

No.	DATE	DESCRIPTION
1	07/25/2013	ZONING APPLICATION
2	07/02/2015	AMENDED ISSUE FOR ZONING
3	05/01/2017	REVISED

FORREST GROUP
 ASSERTIVELY GREEN

We Merchandise Space Inc.
 590 Alden Road, Suite 211 Markham, Ont.
 L3R 8N2
 Tel. 905.752.6776 Fax. 905.752.6781
 www.forrestgroup.ca

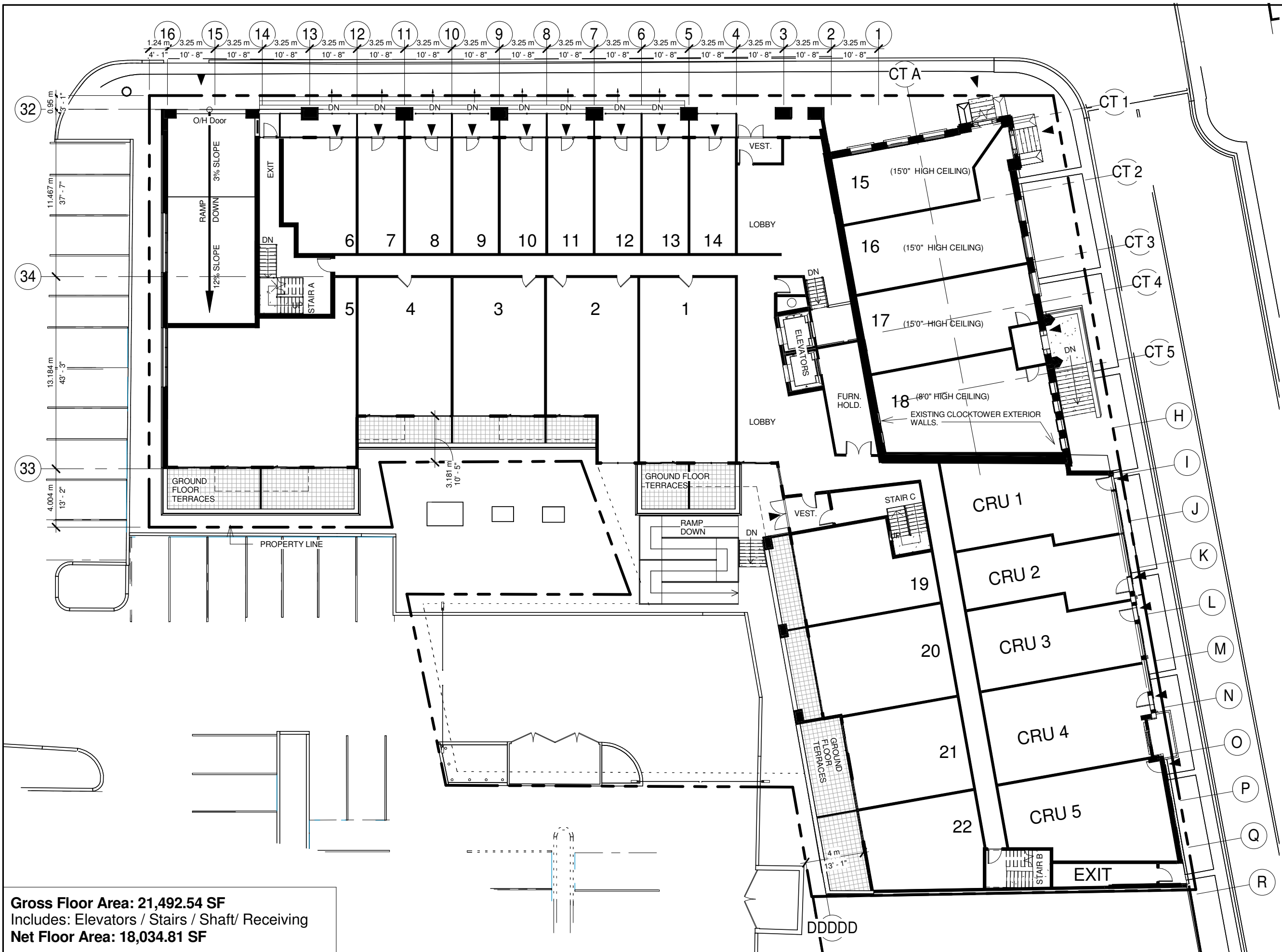


CLIENT:
MAIN STREET CLOCK INC.

PROJECT:
**PROPOSED CLOCK TOWER REDEVELOPMENT
 NEWMARKET, ONTARIO**

DRAWING:
SITE PLAN

Designer: PR	Project number: 6392	DRAWING NO: A1
Drawn by: FM	Date: JULY 2013	
Checked by: PR	SCALE: 1 : 400	



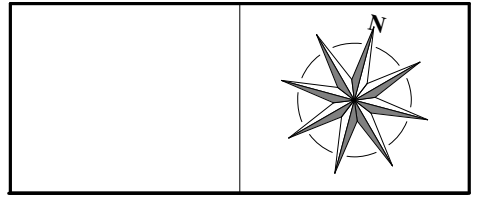
Gross Floor Area: 21,492.54 SF
 Includes: Elevators / Stairs / Shaft/ Receiving
Net Floor Area: 18,034.81 SF

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No.	DATE	DESCRIPTION
1	07/25/2013	ZONING APPLICATION
2	02/02/2016	AMENDED ISSUE FOR ZONING
3	05/12/2016	REVISED LOADING/RECEIVING LOCATION
4	05/01/2017	REVISED

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CLIENT:
MAIN STREET CLOCK INC.

PROJECT:
**PROPOSED
 CLOCK TOWER
 REDEVELOPMENT
 NEWMARKET, ONTARIO**

DRAWING:
Main Floor

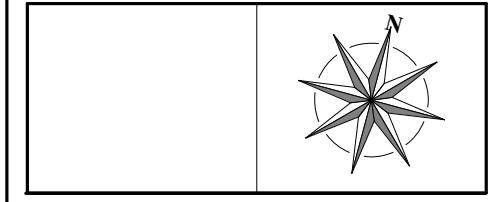
Designer: PR	Project number: 6392	DRAWING NO: A2
Drawn by: PC	Date: JUNE 2015	
Checked by: PR	SCALE: 1 : 250	

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3	05/12/2016	REVISED LOADING/RECEIVING LOCATION
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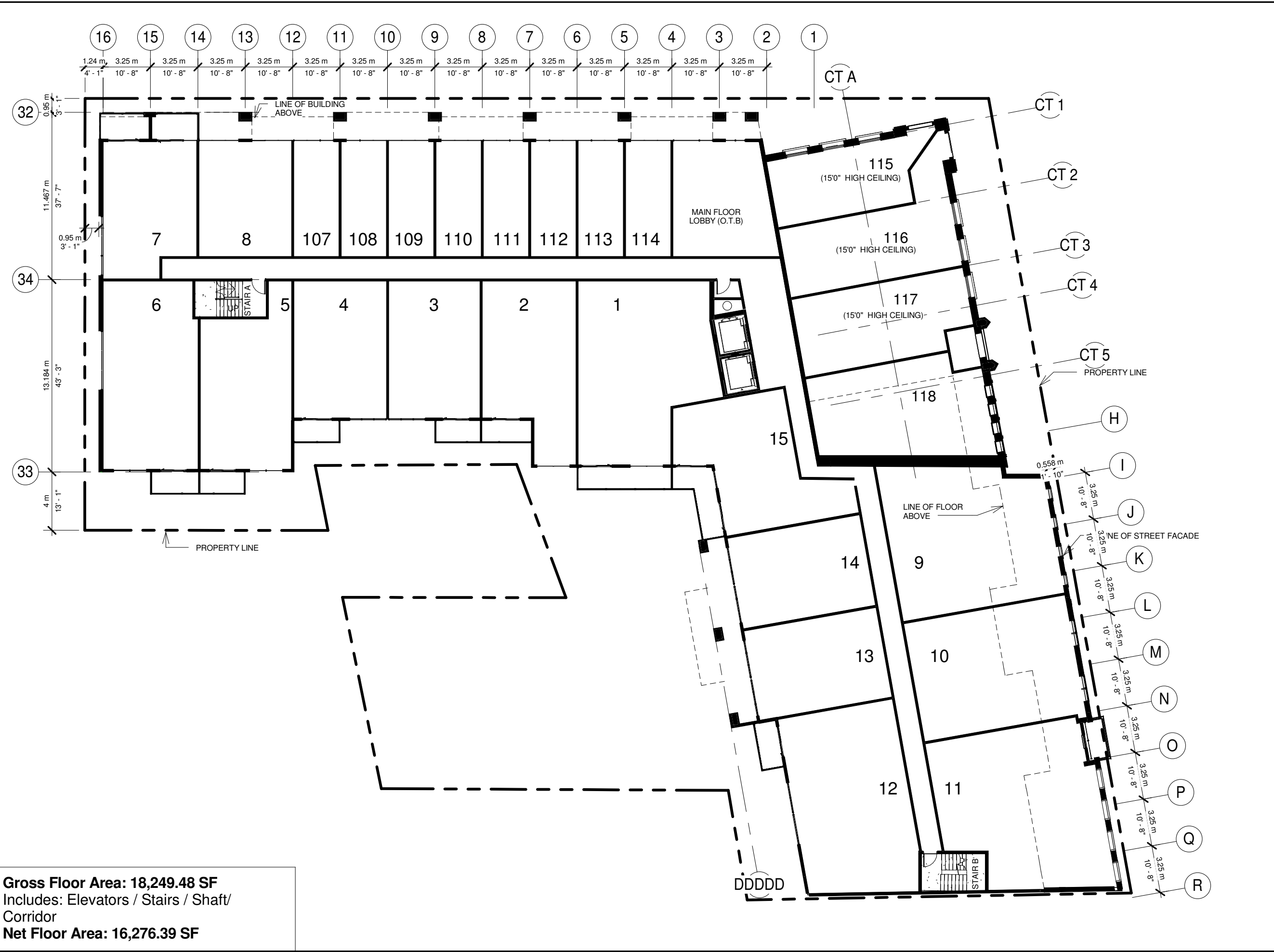


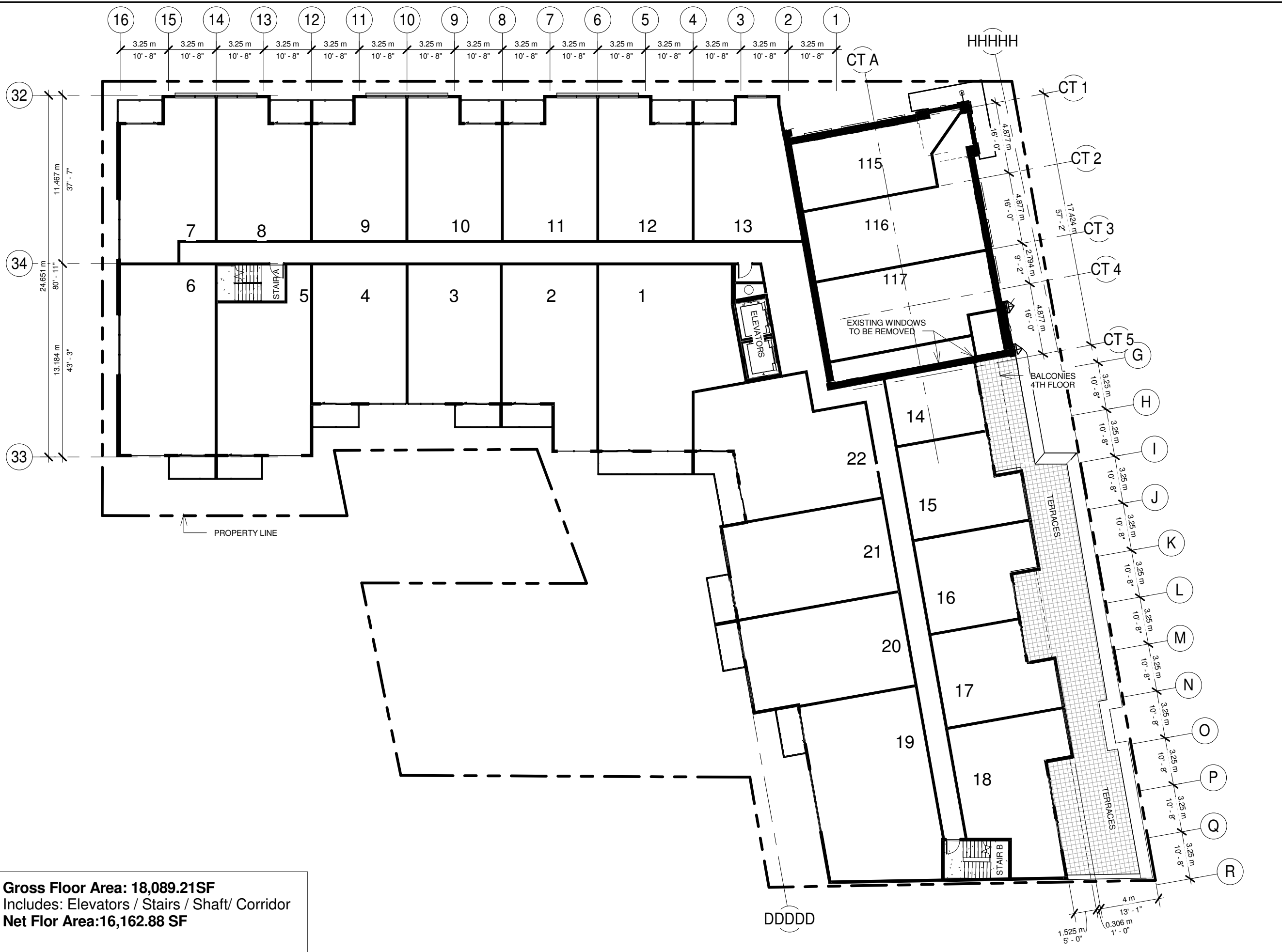
CLIENT:
MAIN STREET CLOCK INC.

PROJECT:
**PROPOSED
 CLOCK TOWER
 REDEVELOPMENT
 NEWMARKET, ONTARIO**

DRAWING:
2nd Floor

Designer: PR	Project number: 6392	DRAWING NO: A3
Drawn by: PC	Date: JUNE 2015	
Checked by: PR	SCALE: 1 : 250	





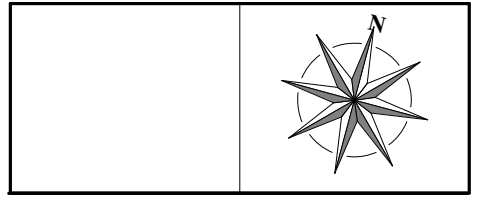
Gross Floor Area: 18,089.21SF
 Includes: Elevators / Stairs / Shaft/ Corridor
Net Flor Area: 16,162.88 SF

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ISSUES		
No.	DATE	DESCRIPTION
1	07/25/2013	ZONING APPLICATION
2	02/02/2016	AMENDED ISSUE FOR ZONING
3	06/01/2016	DIMENSIONS ADDED FOR HIA
4	05/01/2017	REVISED

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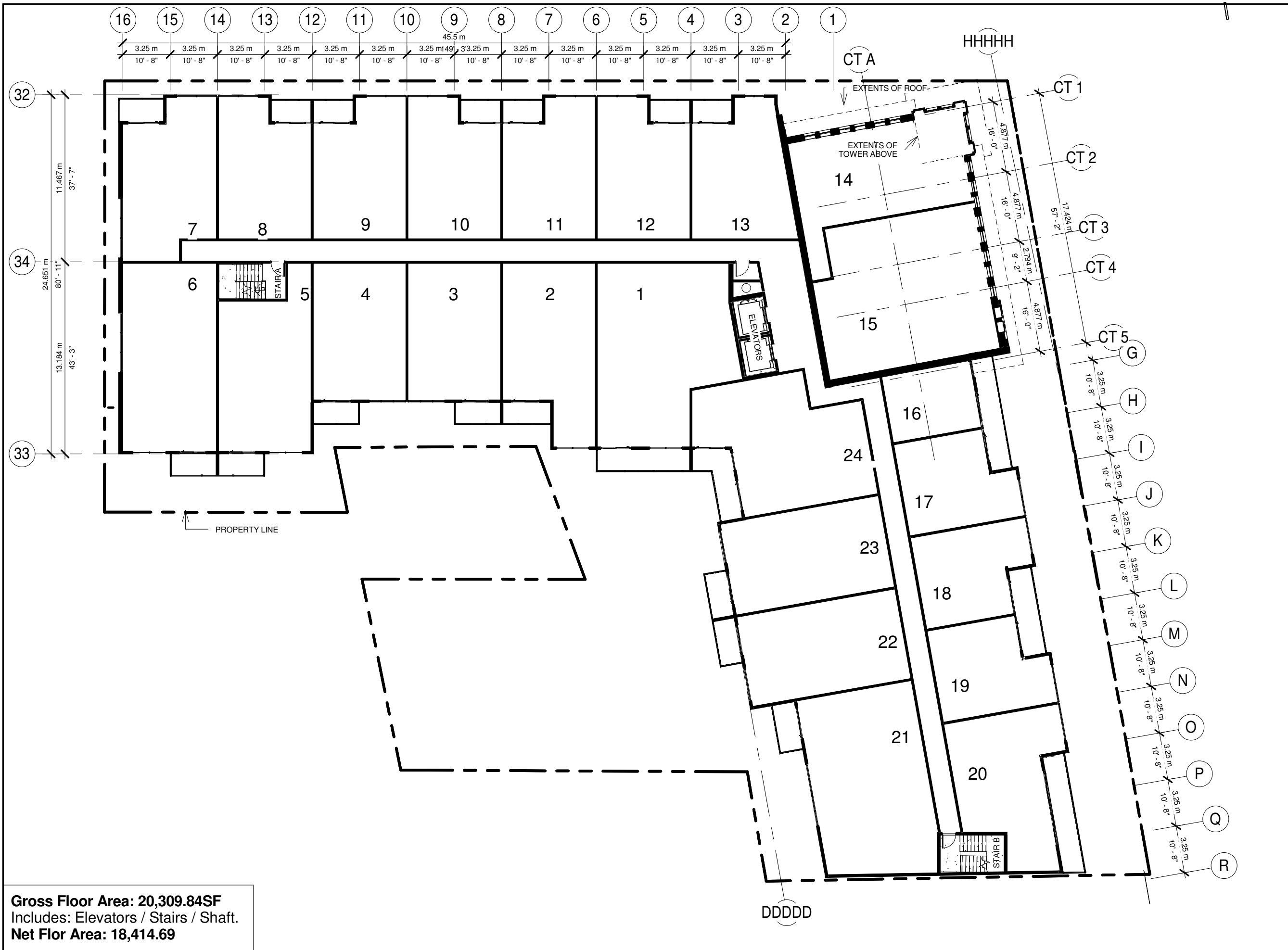


CLIENT:
MAIN STREET CLOCK INC.

PROJECT:
**PROPOSED
 CLOCK TOWER
 REDEVELOPMENT
 NEWMARKET, ONTARIO**

DRAWING:
3rd Floor

Designer: PR	Project number: 6392	DRAWING NO: A4
Drawn by: PC	Date: JUNE 2015	
Checked by: PR	SCALE: 1 : 250	



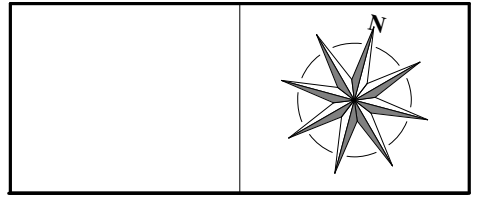
Gross Floor Area: 20,309.84SF
 Includes: Elevators / Stairs / Shaft.
Net Floor Area: 18,414.69

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3	05/01/2017	REVISED

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CLIENT:
MAIN STREET CLOCK INC.

PROJECT:
**PROPOSED
 CLOCK TOWER
 REDEVELOPMENT
 NEWMARKET, ONTARIO**

DRAWING:
4th Floor

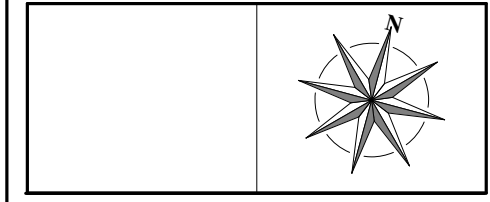
Designer: PR	Project number: 6392	DRAWING NO: A5
Drawn by: PC	Date: JUNE 2015	
Checked by: PR	SCALE: 1 : 250	

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3	06/01/2016	DIMENSIONS ADDED FOR HIA
4	05/01/2017	REVISED

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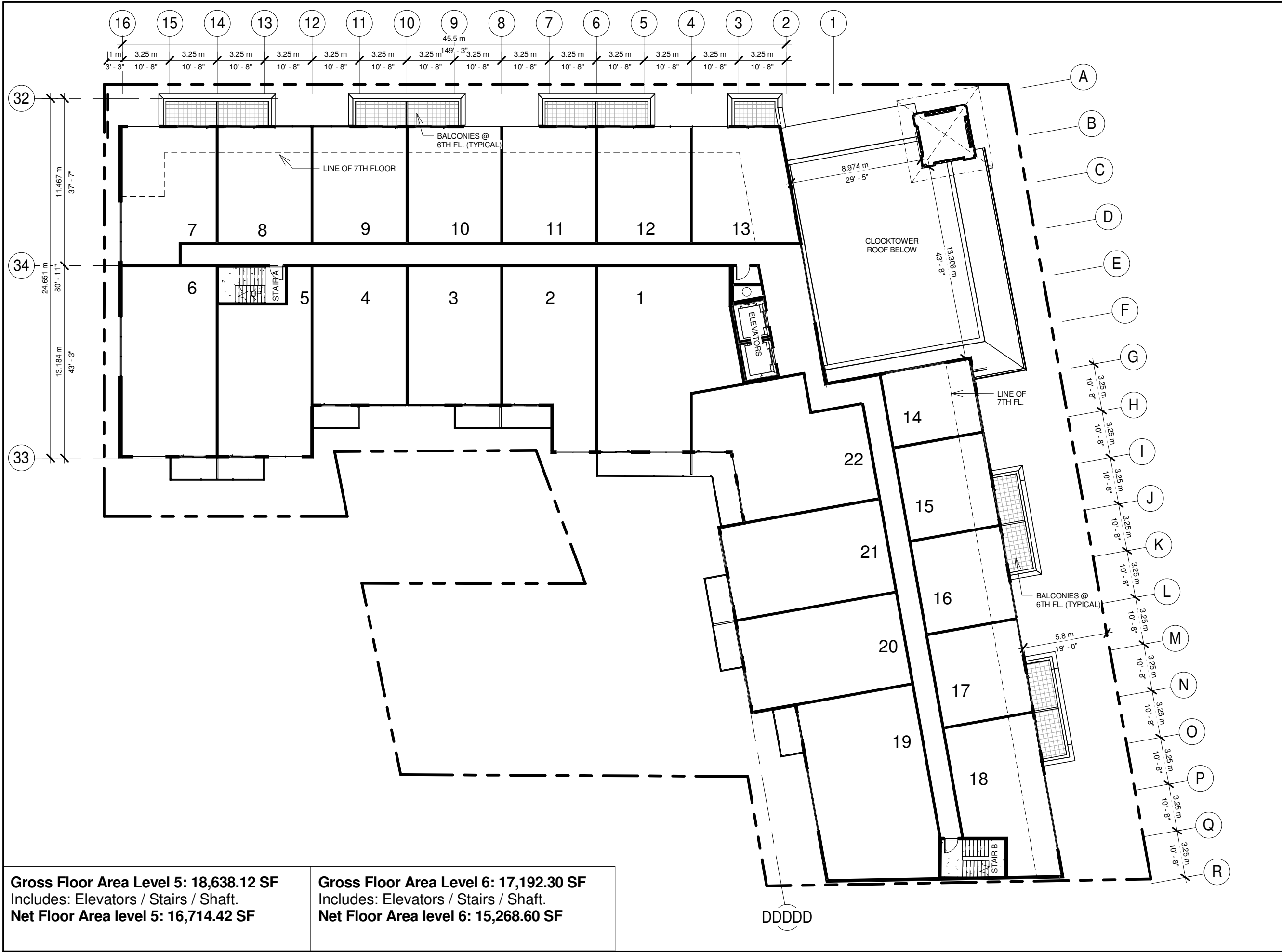


CLIENT:
MAIN STREET CLOCK INC.

PROJECT:
**PROPOSED
CLOCK TOWER
REDEVELOPMENT
NEWMARKET, ONTARIO**

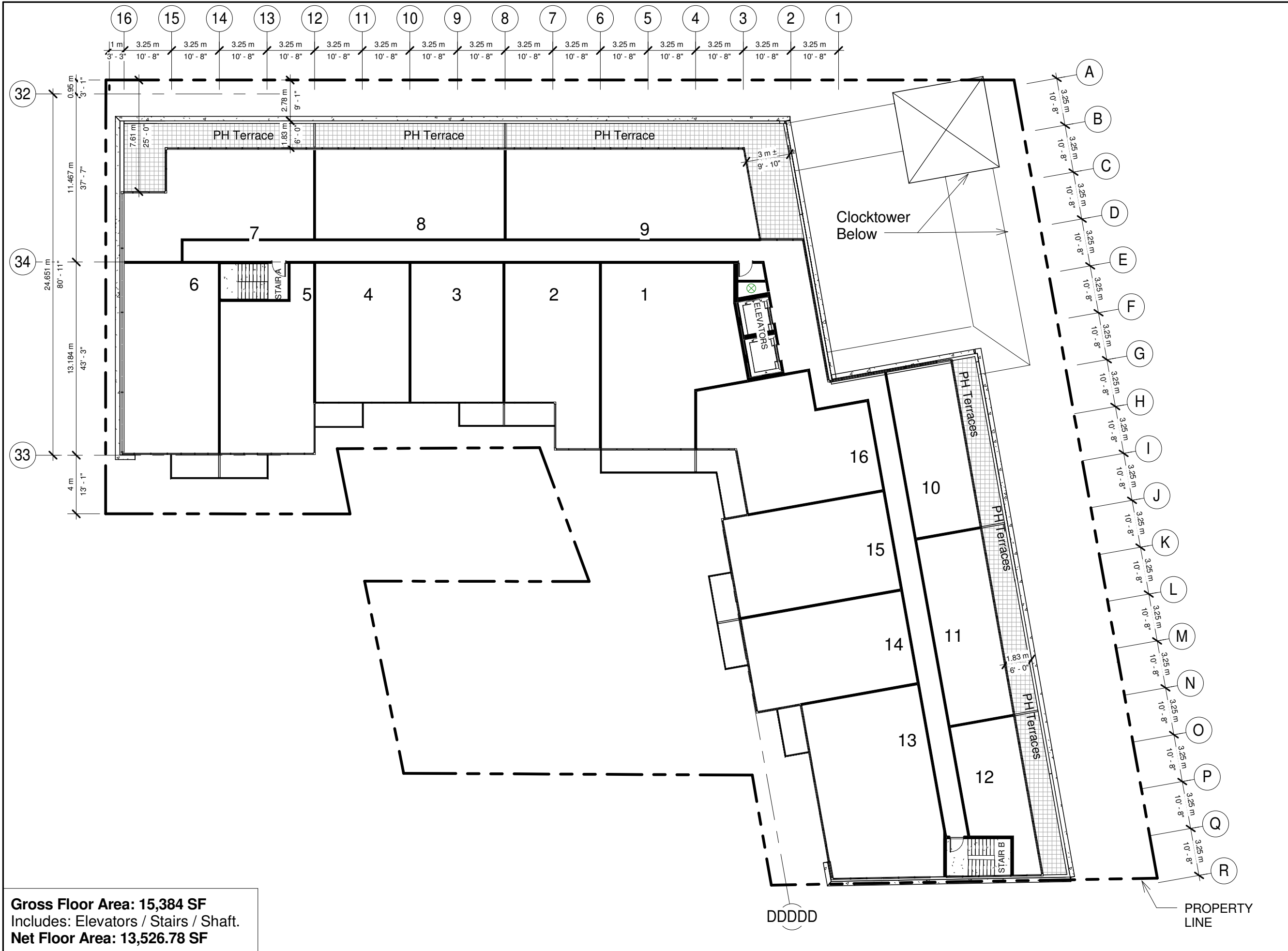
DRAWING:
5th and 6th Floor (Typical)

Designer: PR	Project number: 6392	DRAWING NO: A6
Drawn by: PC	Date: JUNE 2015	
Checked by: PR	SCALE: 1 : 250	



Gross Floor Area Level 5: 18,638.12 SF
Includes: Elevators / Stairs / Shaft.
Net Floor Area level 5: 16,714.42 SF

Gross Floor Area Level 6: 17,192.30 SF
Includes: Elevators / Stairs / Shaft.
Net Floor Area level 6: 15,268.60 SF



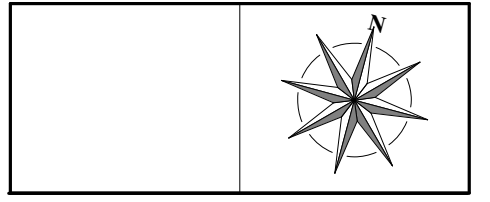
Gross Floor Area: 15,384 SF
 Includes: Elevators / Stairs / Shaft.
Net Floor Area: 13,526.78 SF

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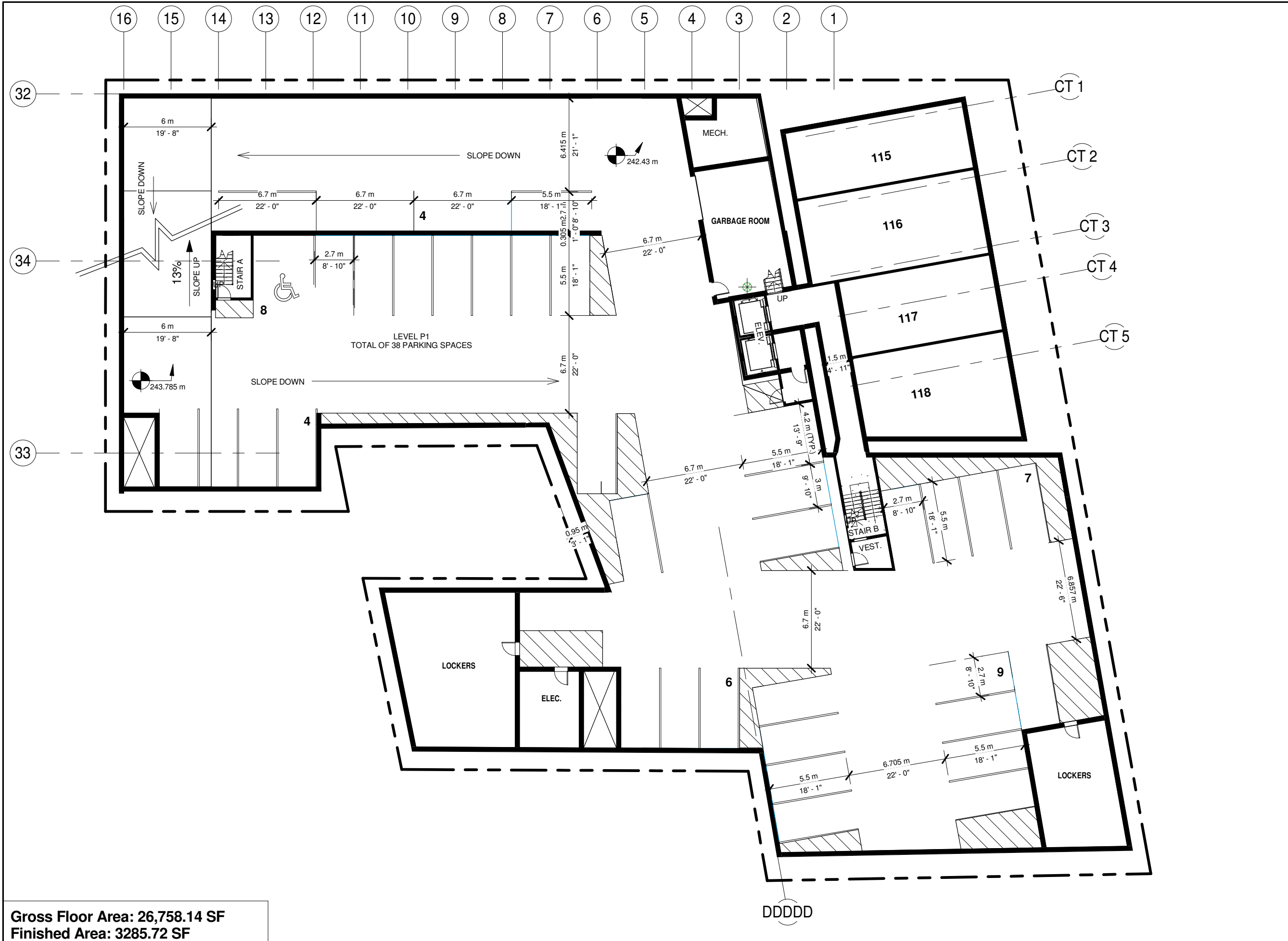


CLIENT:
MAIN STREET CLOCK INC.

PROJECT:
**PROPOSED
 CLOCK TOWER
 REDEVELOPMENT
 NEWMARKET, ONTARIO**

DRAWING:
7th Floor (Penthouse)

Designer: PR	Project number: 6392	DRAWING NO: A6a
Drawn by: FM	Date: JUNE 2015	
Checked by: PR	SCALE: 1 : 250	



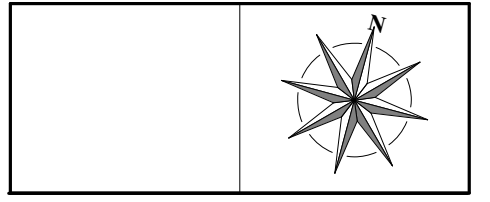
Gross Floor Area: 26,758.14 SF
 Finished Area: 3285.72 SF

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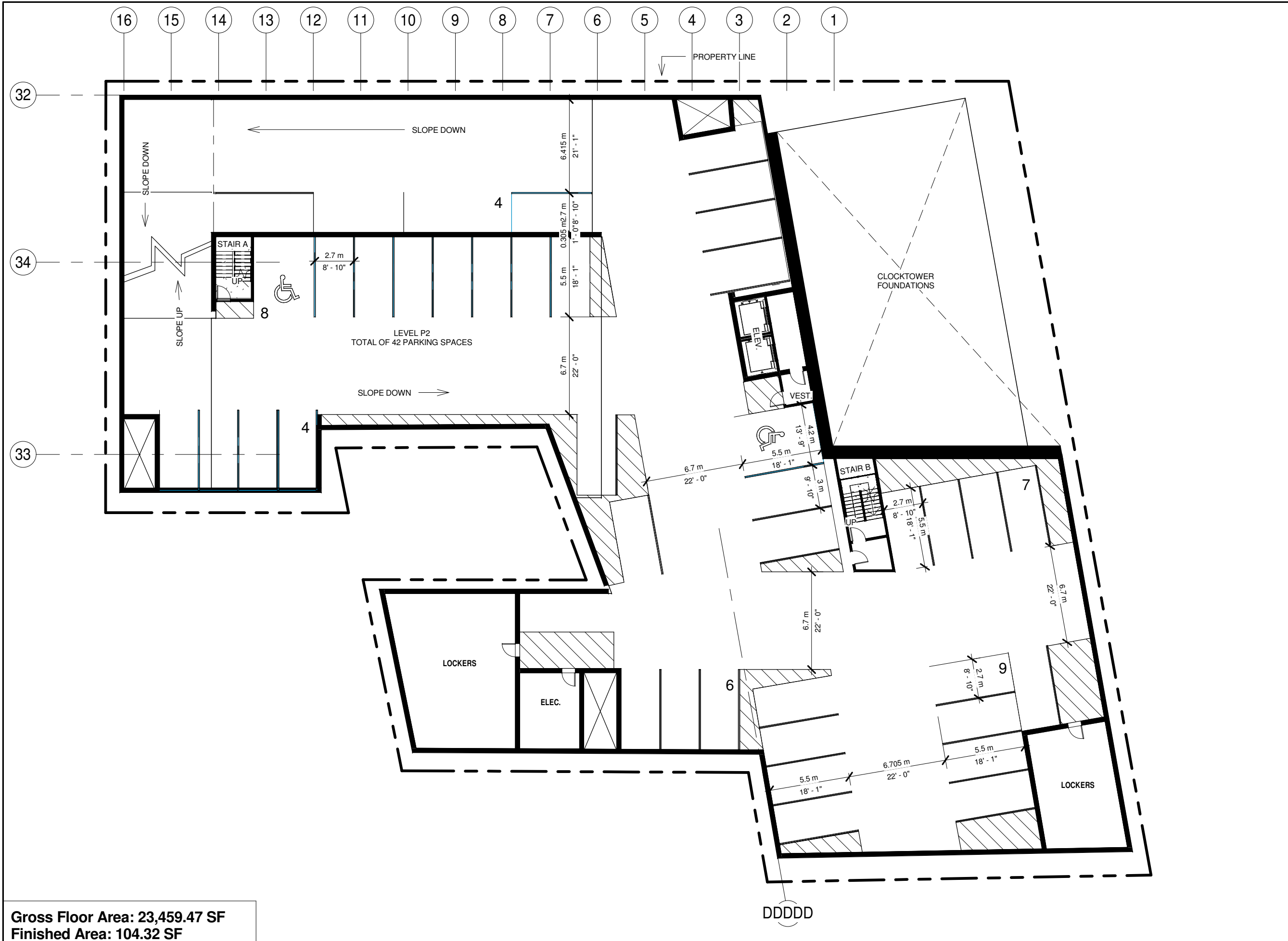


CLIENT:
MAIN STREET CLOCK INC.

PROJECT:
**PROPOSED
 CLOCK TOWER
 REDEVELOPMENT
 NEWMARKET, ONTARIO**

DRAWING:
Parking Level P1

Designer: PR	Project number: 6392	DRAWING NO: A7
Drawn by: GS	Date: JUNE 2015	
Checked by: PR	SCALE: 1 : 250	



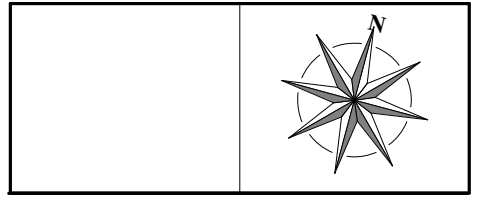
Gross Floor Area: 23,459.47 SF
 Finished Area: 104.32 SF

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CLIENT:
MAIN STREET CLOCK INC.

PROJECT:
**PROPOSED
 CLOCK TOWER
 REDEVELOPMENT
 NEWMARKET, ONTARIO**

DRAWING:
**Parking Level P2
 (TYPICAL P2-P4)**

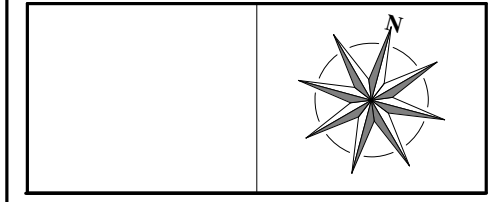
Designer: PR	Project number: 6392	DRAWING NO: A8
Drawn by: FM	Date: JUNE 2015	
Checked by: PR	SCALE: 1 : 250	

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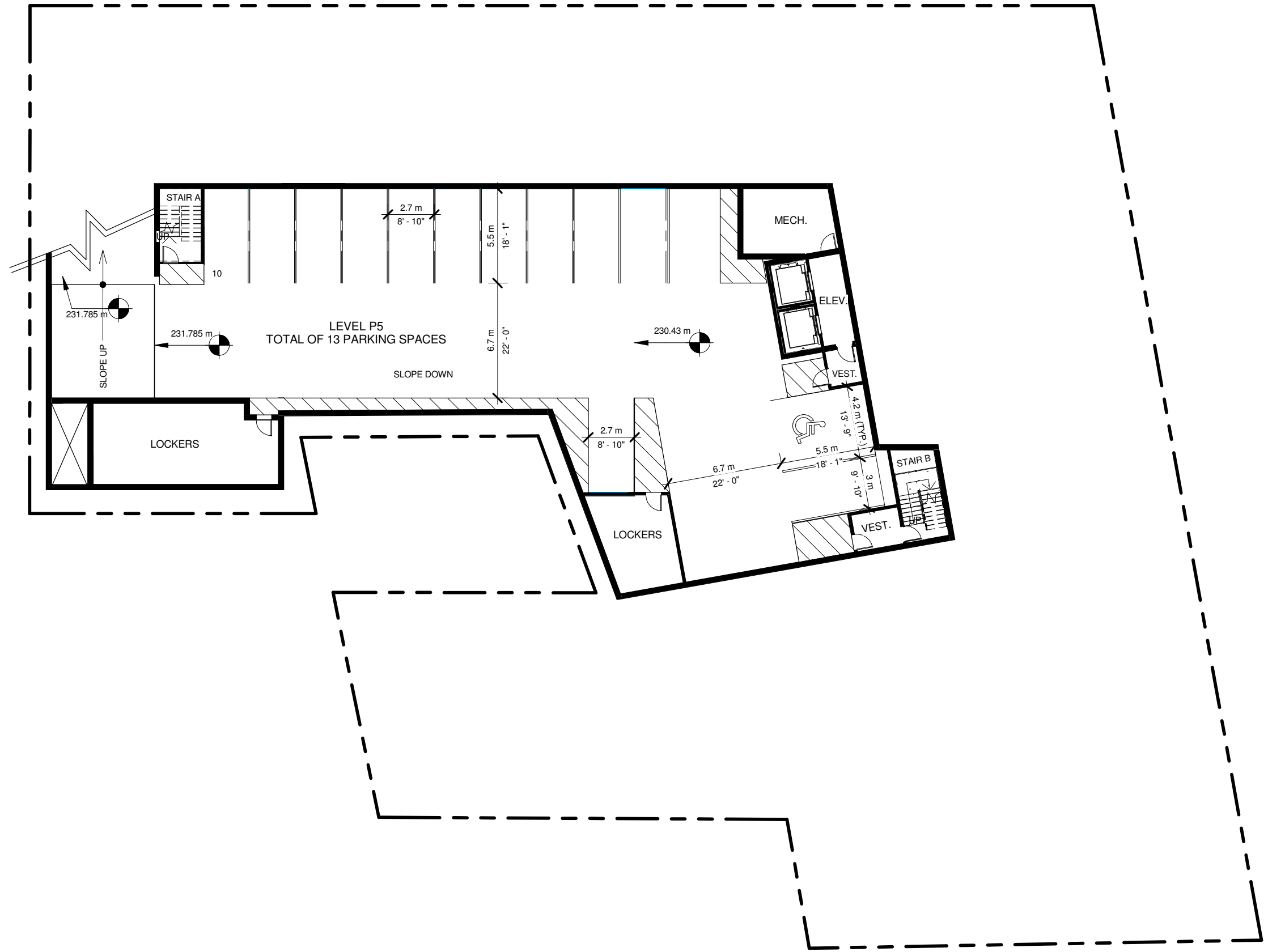


CLIENT:
MAIN STREET CLOCK INC.

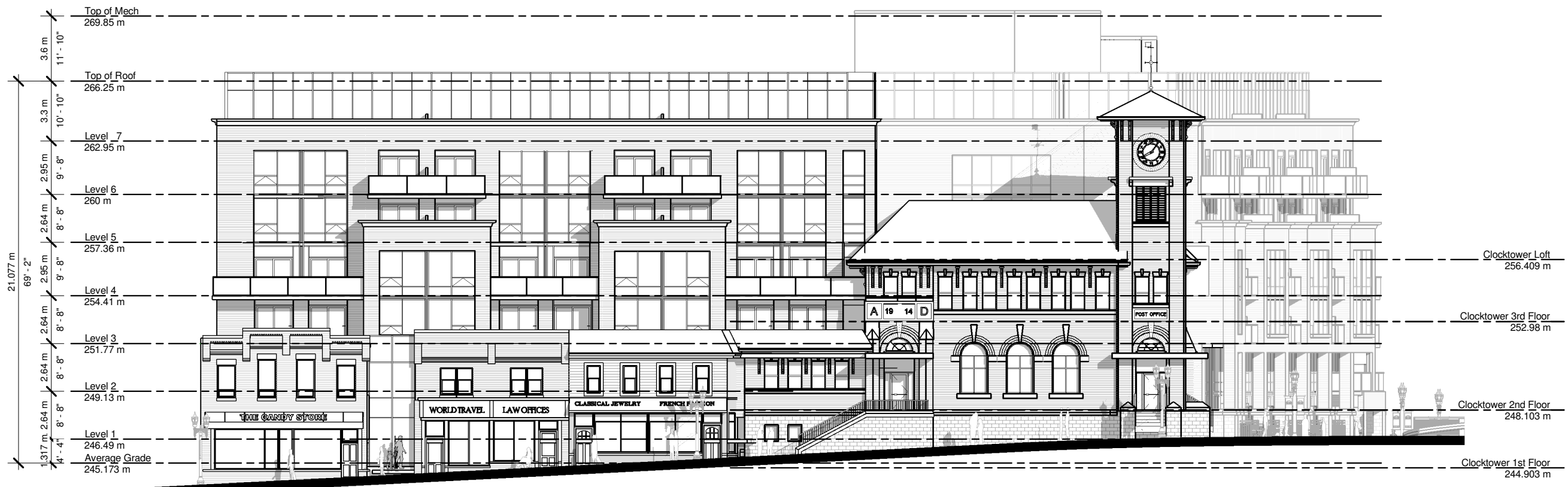
PROJECT:
**PROPOSED
CLOCK TOWER
REDEVELOPMENT
NEWMARKET, ONTARIO**

DRAWING:
Parking Level P5

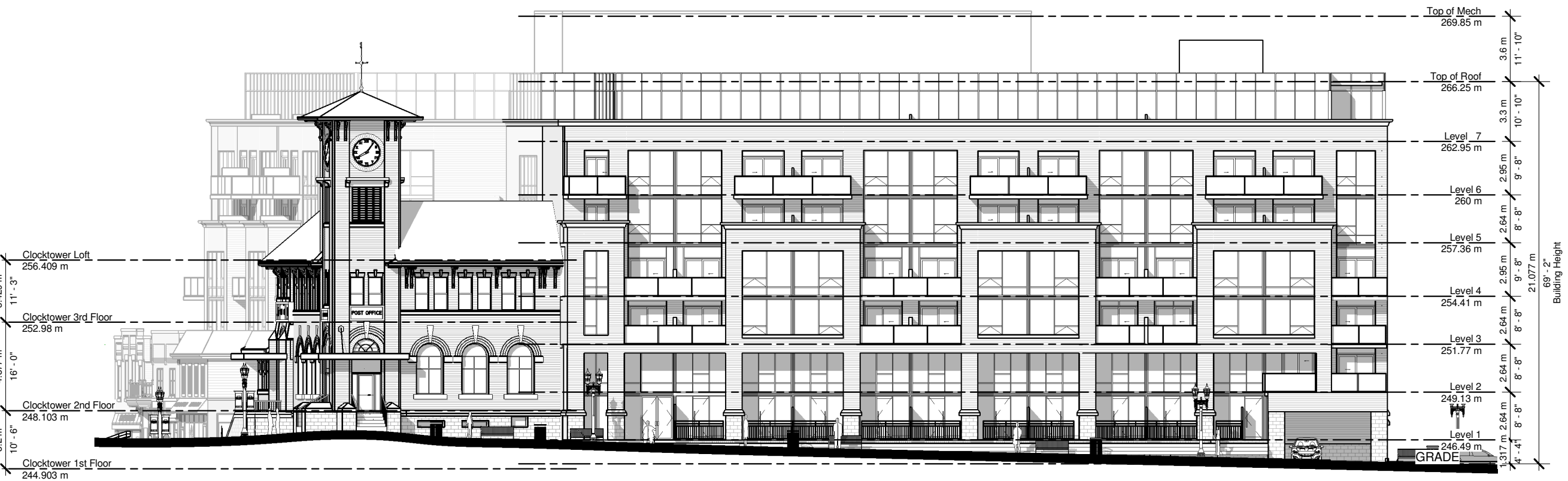
Designer: PR	Project number: 6392	DRAWING NO: A8a
Drawn by: Author	Date: JUNE 2015	
Checked by: PR	SCALE: 1 : 250	



Gross Floor Area: 9,474.16 SF
Finished Area: 104.32 SF



① MAIN STREET - EAST ELEVATION
1 : 250



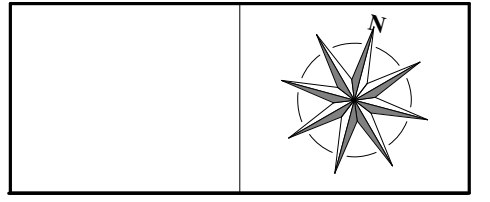
② PARK AVENUE - NORTH ELEVATION
1 : 250

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ISSUES		
No.	DATE	DESCRIPTION
1	07/25/2013	ZONING APPLICATION
2	02/02/2016	AMENDED ISSUE FOR ZONING
3	05/12/2016	REVISED LOADING/RECEIVING LOCATION
4	05/01/2017	REVISED

FORREST GROUP
ASSERTIVELY GREEN

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www.forrestgroup.ca



CLIENT:
MAIN STREET CLOCK INC.

PROJECT:
**PROPOSED
CLOCK TOWER
REDEVELOPMENT
NEWMARKET, ONTARIO**

DRAWING:
**MAIN STREET ELEVATION &
PARK AVENUE ELEVATION**

Designer: PR	Project number: 6392	DRAWING NO: A9
Drawn by: GS	Date: JUNE 2015	
Checked by: PR	SCALE: 1 : 250	

4/28/2017 5:07:57 PM



① MARKET SQUARE - SOUTH ELEVATION
1 : 250



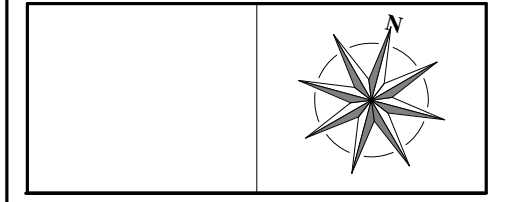
② MARKET SQUARE - WEST ELEVATION
1 : 250

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ISSUES		
No.	DATE	DESCRIPTION
1	07/25/2013	ZONING APPLICATION
2	02/02/2016	AMENDED ISSUE FOR ZONING
3	05/01/2017	REVISED

FORREST GROUP
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CLIENT:
MAIN STREET CLOCK INC.

PROJECT:
**PROPOSED
CLOCK TOWER
REDEVELOPMENT
NEWMARKET, ONTARIO**

DRAWING:
**SOUTH & WEST
MARKET SQUARE ELEVATIONS**

Designer: PR	Project number: 6392	DRAWING NO: A10
Drawn by: GS	Date: JUNE 2015	A10
Checked by: PR	SCALE: 1 : 250	